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Title Number LN244264

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LN 241416

A D D E N D U M

To a Party Structure Award

London Building Acts (Amendment) Act 1939 Part VI

in respect of

No. 40 Pall Mall, London S.W.1.

and

Army & Navy Club, Pall Mall, London, S.W.1.

We hereby certify this to be  
a true copy of the original

*Berwin Leighton*  
Berwin Leighton,  
Adelaide House,  
London Bridge,  
London, EC4R 9HA.

80-10-79

13-6-79

①

LN 241416

to a Party Structure Ward dated

1978

London Building etc (Amendment) Act 1939 Part VI in respect of  
No. 40 Pall Mall, London. C.V.I.

and

Army & Navy Club, Pall Mall, London. C.V.I.

Now this Addendum Witnesseth and is to be described as paragraph XI of the said  
Ward.

- vi) a) At Fifth Floor flat roof level the Building Owners shall form an opening in the South West flank wall of the Army and Navy Club, as indicated on drawing No. 155/20B, provided with R.C. boot lintol, timber door frame, external grade half hour fire check flush panel door and glass encased panic bolt as the only form of opening mechanism.
- b) The said door shall be fitted with an electrically controlled contact through a transformer and bell, plus indicator light, terminating in Porter's Lodge at Ground Floor level so as to complete the circuit when the door is in the open position as an audible measure.
- c) Alter and adapt landing on the staircase adjacent to the proposed opening as may be required, constructed in timber and fixed to existing structure.
- d) The whole of the Works to be carried out at the sole cost of the Building Owners.
- e) The additional fee in respect of this Addendum for the services of the Adjoining Owners' Surveyor shall be £150.00

Signed by Surveyor for

Building Owner

*David A. Lyons AFS MRSH.*

Signed by Surveyor for

Adjoining Owner

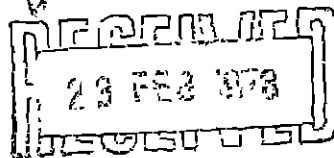
*[Signature]*

Dated 13<sup>th</sup> June 1979

②

LN 241416

RH  
LN 24/4/6



PARTY STRUCTURES AWARD

Between

40/41 PALL MALL, S.W.1

and

ARMY AND NAVY CLUB, PALL MALL, S.W.1

We hereby certify this to be  
a true copy of the original

*Be Long*

Barwin Leighton,  
Aulseade House,  
London Bridge,  
London, EC4R 9HA.

30-10-79

the Matter of the

London Building Acts (Amendment) Act 1939 Part VI in  
respect of No. 40 Pall Mall, London, S.W.1

and

Army and Navy Club, Pall Mall, S.W.1

Whereas:

Messrs. Barking Industrial Properties Ltd. (hereinafter called the Building Owners) are the Freeholders of the premises known as No. 40 Pall Mall, London, S.W.1 and

Whereas:

Army and Navy Club (hereinafter called the Adjoining Owners) are the Freeholders of the premises known as Army and Navy Club, Pall Mall, London, S.W.1 and

Whereas:

The Building Owners have served upon the Adjoining Owners Notice in writing on 17th June 1977, under Part VI Section 45 sub-section b of the aforesaid Act, of their intention to execute certain Works to the Party Wall between the two properties in connection with extensions to No. 40 Pall Mall, S.W.1 by the Building Owners on this site.

Whereas:

A difference was deemed to have arisen between the Building Owners and the Adjoining Owners, and the Building Owners have appointed David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL as their Surveyor and the Adjoining Owners have appointed Messrs. Derek Sharp Partnership of 18 Compton Terrace, London, N.1 as their Surveyor.

Whereas:

The said two Surveyors have agreed that the President for the time being, of the Royal Institute of Chartered Surveyors shall elect a Third Surveyor to act in accordance with the said Act, in the event of a dispute.

this Award Witnesseth:

- i) That the drawing Nos.155/7G, 8H, 9G, 10G, 11E, 1JC, 14B and 15B prepared by David A. Lyons, AFS, MRSH, of 1 Bellhouse Cottages, Freemans Lane, Hayes, Middx., UB3 2NL and dated February, September and October 1977 and 133/1, 2 and 5 prepared by R.W. Smeeton, C. Eng., M.I. Struct. E., of 32 Sidwell Avenue, South Benfleet, Essex and dated August, September and October 1977 shall form part of this Award and copies are attached hereto and are hereafter called "the Drawings".
- ii) That the Building Owners shall raise up the old Party Wall to form Fifth Floor extension to main building and raise up the old Party Walls to the rear additions including 'Flexel' movement joint between the new brickwork and the Adjoining Owners extension and lead flashings to existing coping stones to parapet wall abutting new extensions, all as shown on the Drawings.
- iii) That the Building Owners shall carefully cut into old Party Wall and cast concrete padstones to receive steelwork all as shown on the Drawings.
- iv) That the Building Owners shall extend the existing fresh air intake duct on the Adjoining Owners flat roof in such a manner that it will not affect the existing fresh air ventilation system. This work will be executed to Messrs. Young Austin Young and Adjoining Owners Surveyor's approval.
- v) That the Building Owners shall raise up existing 100mm cast iron vent pipe in 100mm plastic terminating above parapet of new rear addition extension with domical grille all as shown on the Drawings.

- vi) that the Building Owners will execute the whole of the Works from their own side of the junction line between the two properties where it is necessary to gain access to flat roof, to raise up fresh air duct and clean off roof, will be made only with the Adjoining Owners Knowledge and previously given consent. The Building Owners will at all times take all reasonable precautions to safeguard the property of the Adjoining Owners.
- vii) The whole of the Works to be carried out at the sole cost of the Building Owners.
- viii) The Works to be executed in such a manner as to cause as little inconvenience as possible to the Adjoining Owners or to his occupants or property, and due to the residential nature of the Club, noisy work will not be carried out after 8.00 pm. The Building Owners shall promptly and efficiently repair and make good any damage occasioned by the Works to the Adjoining Owners property so that nothing disturbed shall be in a worse condition than it is now.
- ix) The Building Owners will indemnify the Adjoining Owners against all Claims arising out of damage or injury to persons or property as a result of the Works herein described.
- x) The Building Owners shall pay the charges of the Surveyors acting for the Adjoining Owners, amounting to £ 430.00 plus V.A.T. in respect of his services in connection with

continued.....

x) continued

this Award, such charges to include for one future visit the Site during progress of the Works and a final inspect upon completion.

Signed by Surveyor for

BUILDING OWNER *David A. Lyons AFS, MRS 4.*

Signed by Surveyor for

ADJOINING OWNER *(Signature)*

Dated..... *21st February* .....1978



LN241416

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10. No part of this drawing is to be used for other than the purpose for which it was prepared.

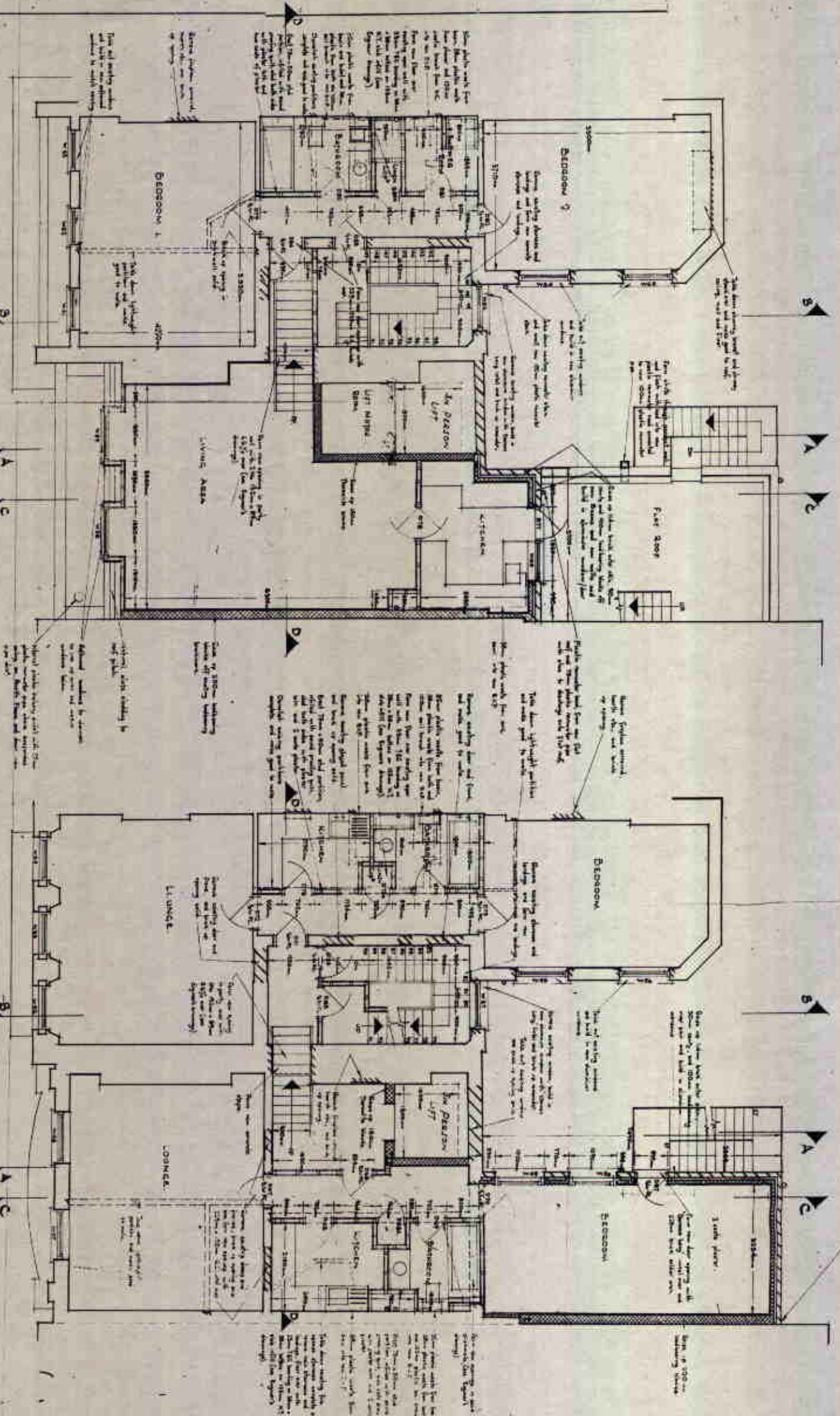
REDUCED  
H.M. LAND REGISTRY  
TITLE No. 141/2000/15  
PHOTODUPLICATION COPY  
of PLAN No. 141/2000/15  
Sheet 1 of 1



PROPOSED EXTENSIONS  
AND ALTERATIONS  
5th & 4th Floor Plans

40/41 Pall Mall,  
LONDON, S.W.1.

Prepared by  
David A Lyons AFS, MESH  
Building Surveyor,  
1 Bellhouse Cottages, Putney Lane,  
Hagley, Middlesex SW3 2NL.  
Telephone: 01-581-0088  
Drawn by  
D A Lyons  
February 1977  
155/76



FIFTH FLOOR PLAN

FOURTH FLOOR PLAN

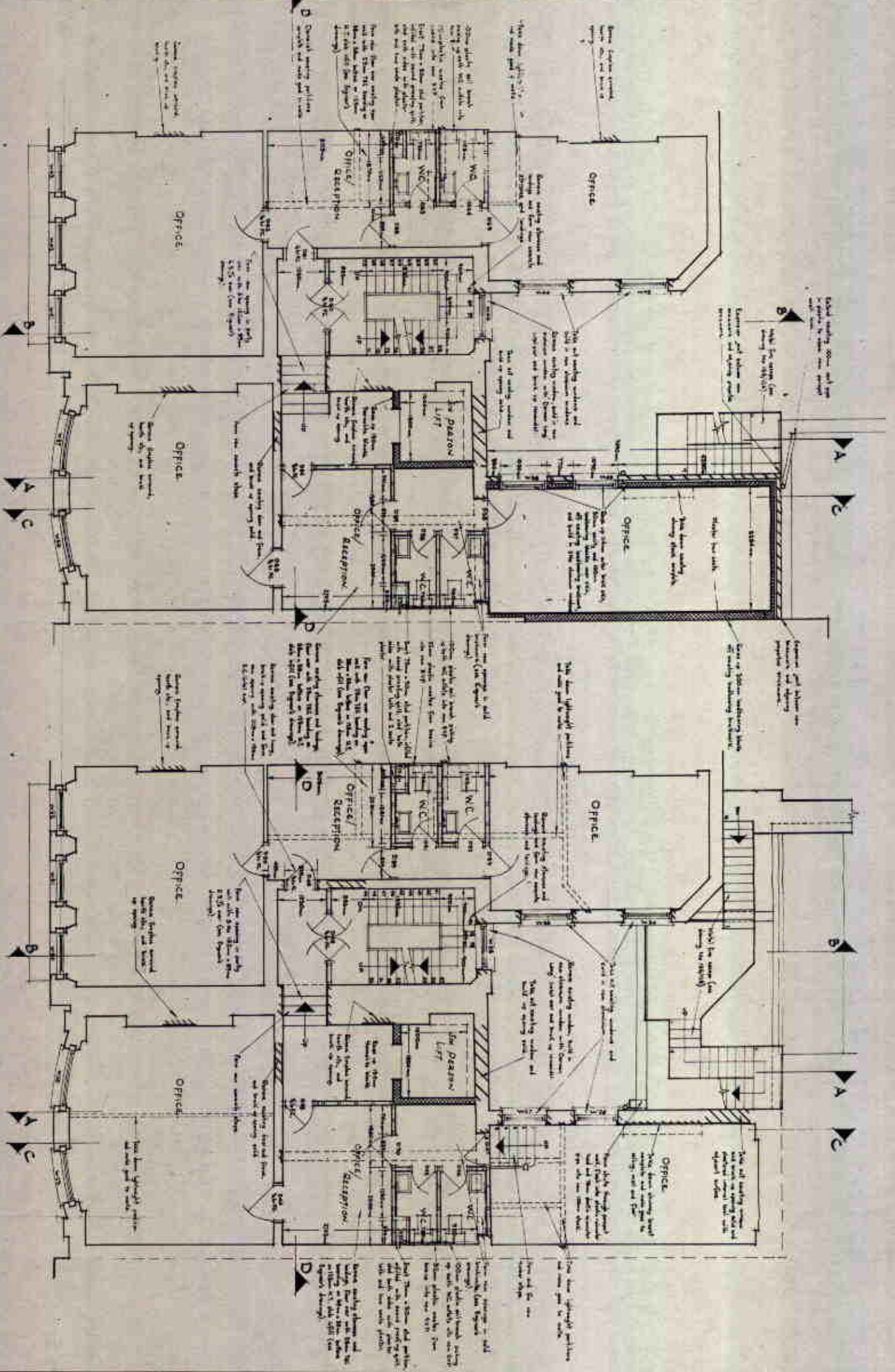
NOTE:- No colour references  
appeared on the filed copy of this  
plan.



L/N 24/1416

THIRD FLOOR PLAN

SECOND FLOOR PLAN



NOTE:- No colour references appeared on the filed copy of this plan.

- PLAN NOTES**
1. CONSTRUCTION not to be mentioned without permission of the Council.
  2. To be noted by the Council.
  3. To be noted by the Council.
  4. Mechanical ventilation from above White Chalks capable of supplying air at a pressure of 750 cfm per hour the area under the water.
  5. The Council shall be charged at least three times per hour.
  6. Working drawings for new lifts to be submitted to the Council for approval.
  7. The Council shall be charged at least three times per hour.
  8. The Council shall be charged at least three times per hour.

**Rediff**  
H.M. LAND REGISTRY  
TITLE NO. 141 241416  
PHOTODUPLICATION COPY  
of PLAN to 3/4" = 1'-0"  
dated 21.2.1978



**PROPOSED EXTENSIONS AND ALTERATIONS**  
3rd & 2nd Floor Plan.

40/41 PALE MALL,  
LONDON, S.W.1

Drawn by:  
David A. Lyons AFS, MESH  
Building Surveyor,  
1 Bellhouse Cottages, Finsbury Lane,  
Hagley, Middlesex UB5 2NL  
Telephone: 01-581-6050

Drawn by:  
D. A. Lyons  
Revised 1977  
Scale 1/50

155/84.



LN 2414116

PLAN NOTES

1. CONVEYANCE not to be registered without permission.
2. Drawing not to be copied.
3. Site plan to be kept for three years after completion.
4. Mechanical ventilation from external water closets to be installed.
5. Working drawings for any alterations to be submitted to the Building Department before work is started.
6. This drawing is to be used in conjunction with the Elevation drawings for 1957/1958.

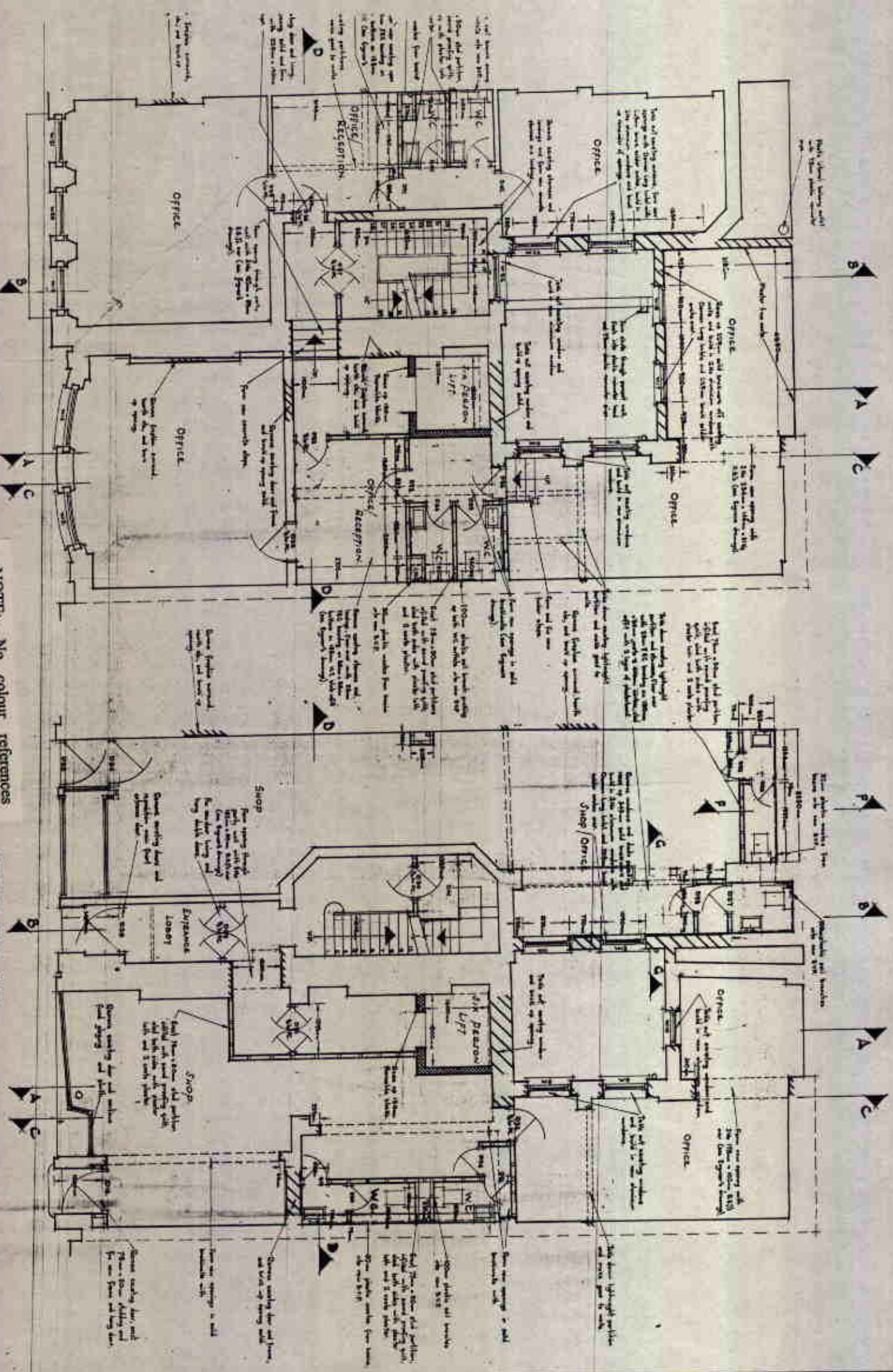
NOTE: This Deed/Plan was of poor quality prior to imaging.

**Patented**  
H.M. LAND REGISTRY  
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made in accordance with  
the provisions of the  
Land Registration Act 1925  
and 1936



**PROPOSED EXTENSION  
AND ALTERATIONS  
1st & 2nd Floor Plans**  
40/41 DALL MALL,  
LONDON, S.W.1.

Prepared by  
**David A. Lyons, AFS, MInst**  
Building Surveyor,  
1 Bellhouse Cottages, Putney, S.W.15.  
Hagley, Middle, W5 2AL.  
Telephone: 01-561-0086.  
Drawn by  
**D. A. Lyons**  
Reviewed by  
**February 1977**  
Scale: 1/50



NOTE: No colour references  
appeared on the filed copy of this  
plan.

1st Floor Plan.

2nd Floor Plan.





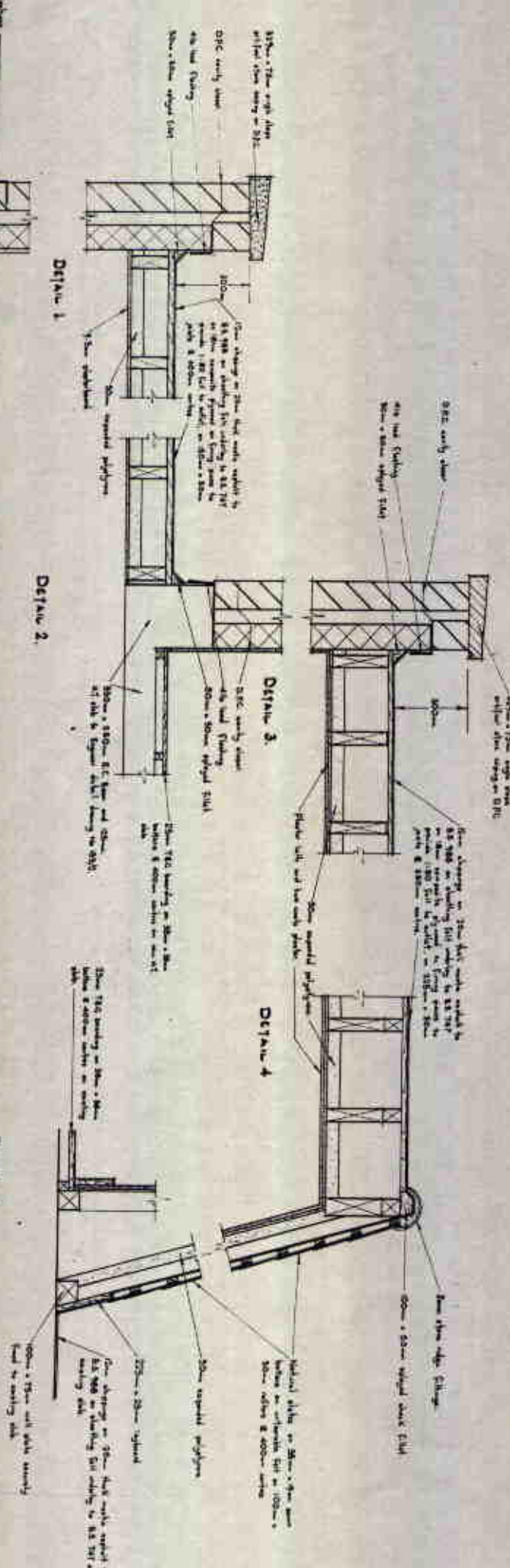


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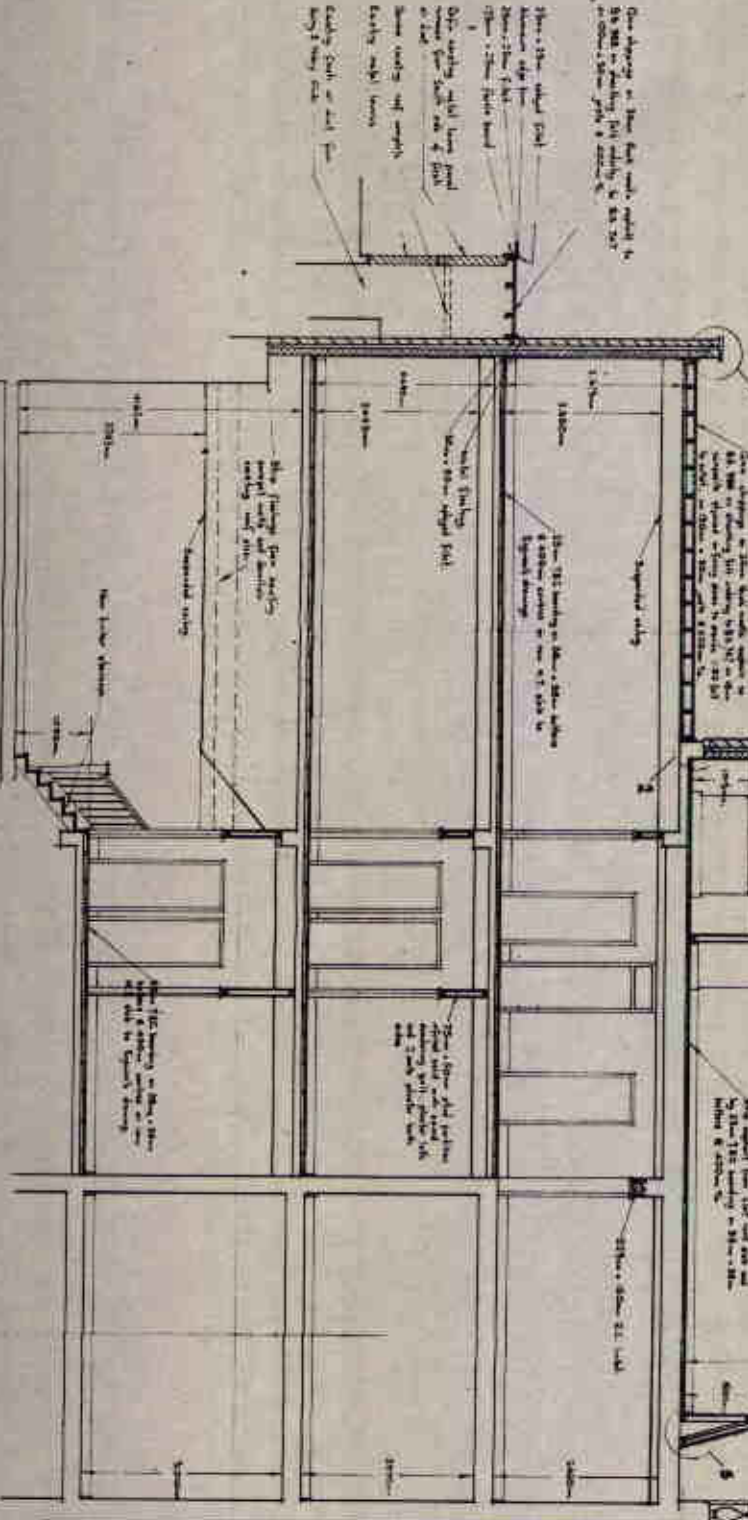
PLAN NOTES

1. CORRECTIONS not to be introduced without permission.
2. Drawing not to be used for construction of the S.C. District and not with additional drawings to 1931 and 1941/2.

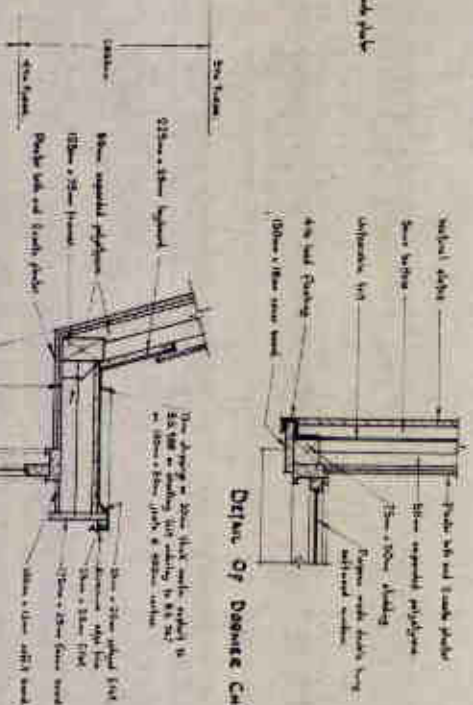
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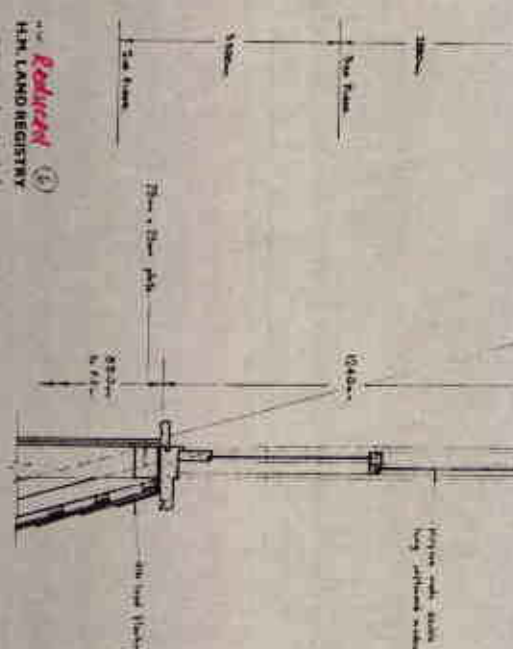
TYPICAL DETAIL AT JUNCTION OF PARAPET STREET AND NEW BUILDING



DETAIL OF DRAINAGE CURB



PART OF SECTION C-C



NOTE: No colour references appeared on the filed copy of this plan.

Reduction  
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PLAN to SERVICE  
21.2.1978

SECTION THROUGH DOORCASE

PROPOSED EXTENSIONS  
AND ALTERATIONS  
PART OF SECTION C-C & DETAILS

40/41 PAUL MALL,  
LONDON, S.W.1

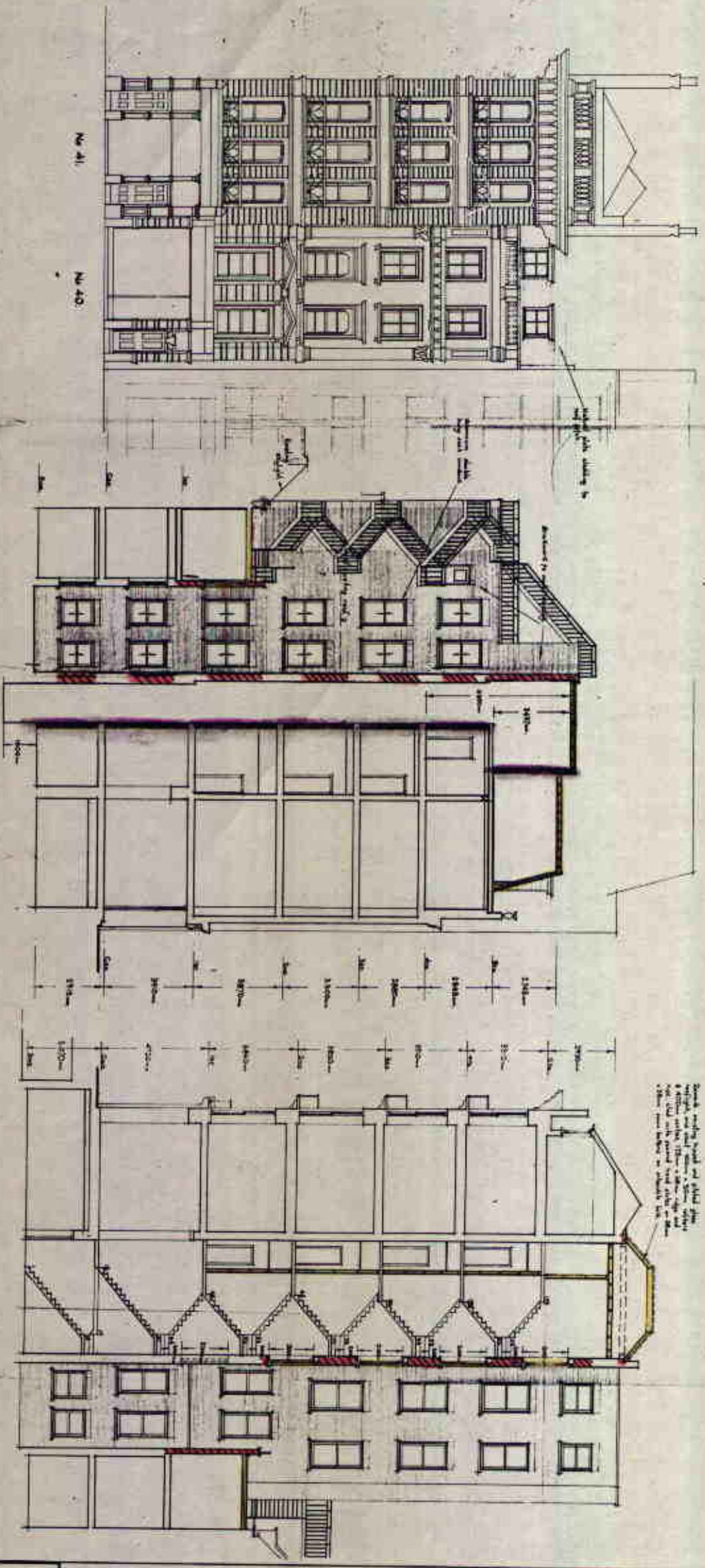
David A. Lyons A.F.S., N.A.S.H.,  
Building Surveyor,  
1 Bullhouse Cottages, Putney Lane,  
Hagley, Middlesex, SE25 2NL  
Telephone: 01-581-6050

Drawn by  
D. A. Lyons  
September 1977  
155/13



LN 241416

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2. Drawing not to be used for other than the purpose for which it was prepared.  
3. The liability of the draughtsman is limited to the design of the building and not to the suitability of the site or the advisability of the proposed alterations.  
4. The draughtsman is not responsible for the accuracy of the information supplied by the client.



Façade Elevation

Section 'A-A'

Section 'B-B'

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dated 27.9.1977

<b>PROPOSED EXTENSIONS AND ALTERATIONS</b>	
Façade Elevation & Section A-A, B-B.	
40/41 DALL MALL, LONDON, S.W.1.	
Drawn by David A. Lyons A.P.S., N.A.S.H. Building Surveyor, 1 Bullhouse Cottages, Friarage Lane, Hagley, Middlesex UB8 3NL. Telephone 01-561-6056	
Scale February 1977 1:100	Drawing No. 155/11E.



### Plan Notes

### Plan Notes

[illegible][illegible]

Section Through Dome

David A Lyons, AFS, NESH,  
Building Surveys,  
1 Bellhouse Cottage, Farnham Lane,  
Hoggs. Mill, GB 2NL  
Telephone: 01-561-0058

**Redman** (C)  
H.M. LAND REGISTRY  
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of PLUMB IN DIST.  
DATE 21.2.1978



**PLAN NOTES:**

1. COPYRIGHT not to be reproduced without permission.

2. Drawing not to be scaled.

3. No details of the frame are shown on this plan.

4. No details of the structure and building are shown.

5. Ground shown on this plan is not to be scaled.



Proposed Extensions  
AND ALTERATIONS:  
Room Elevator & Section A-A, B-B.  
40/41 Pall Mall,  
London, SW1.

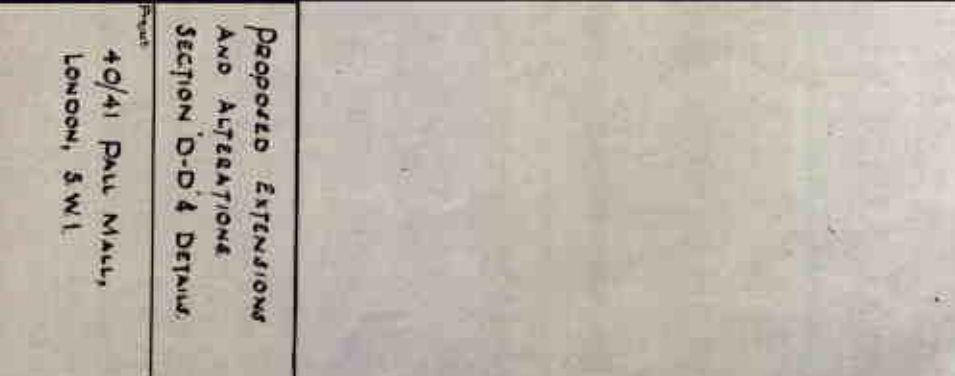
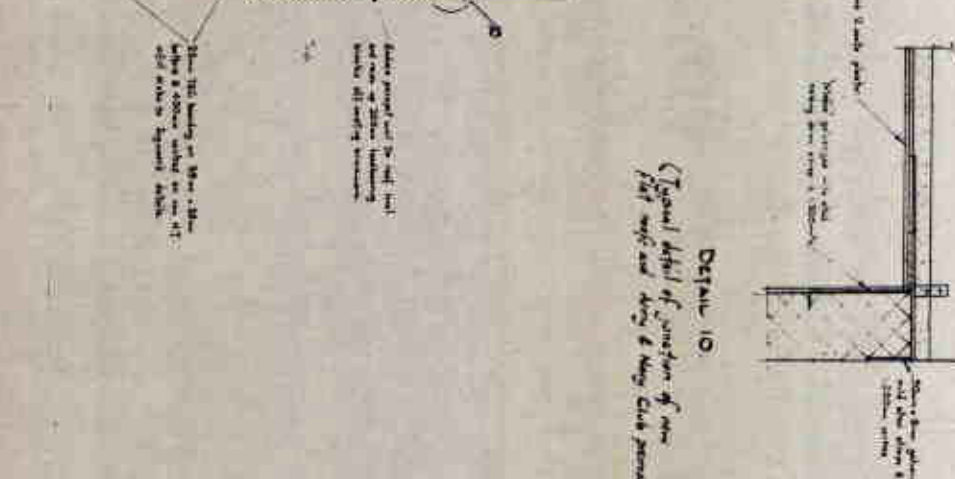
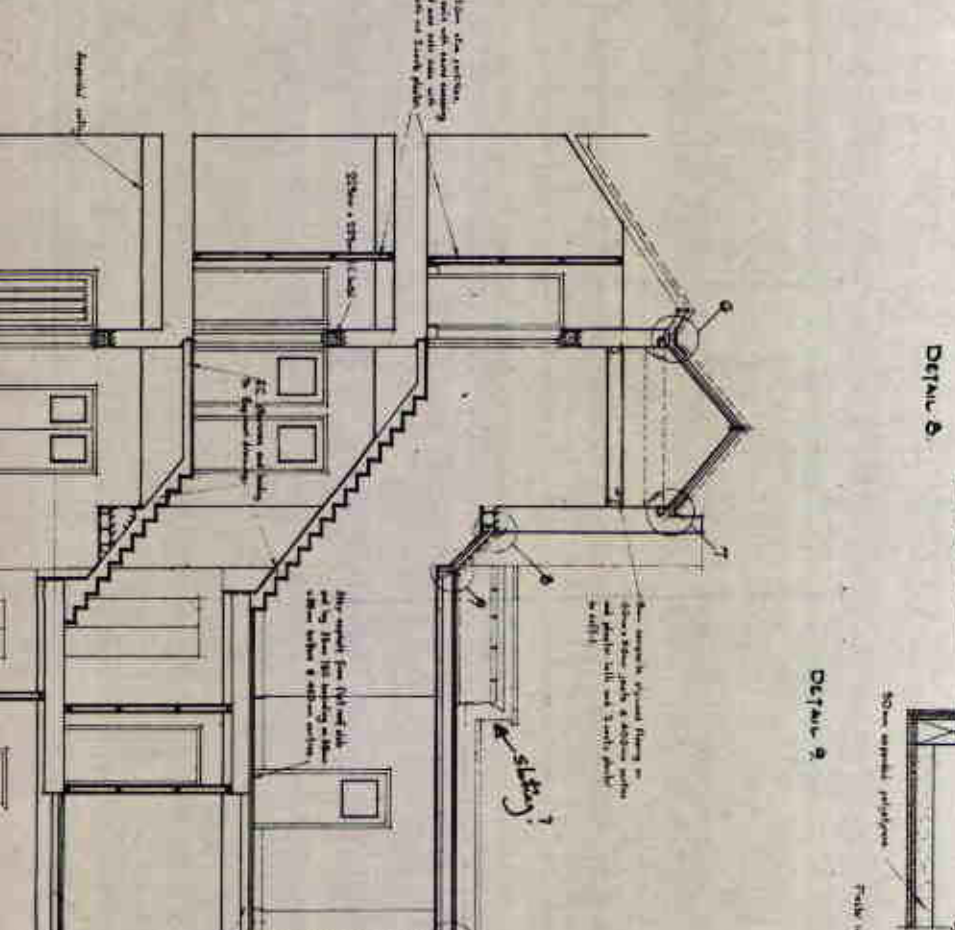
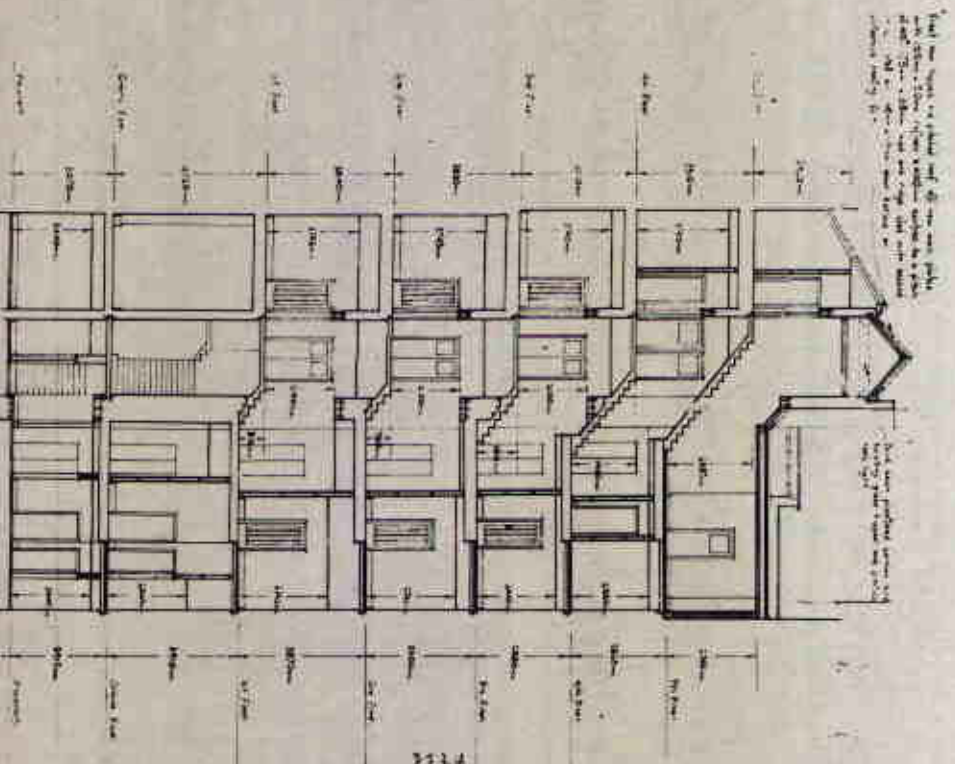
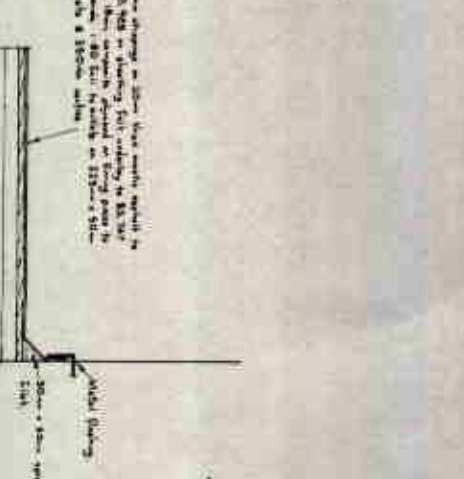
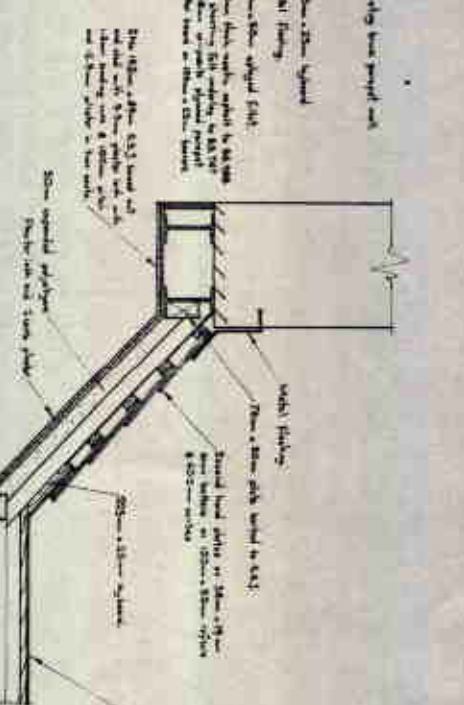
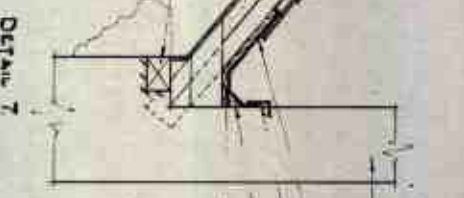
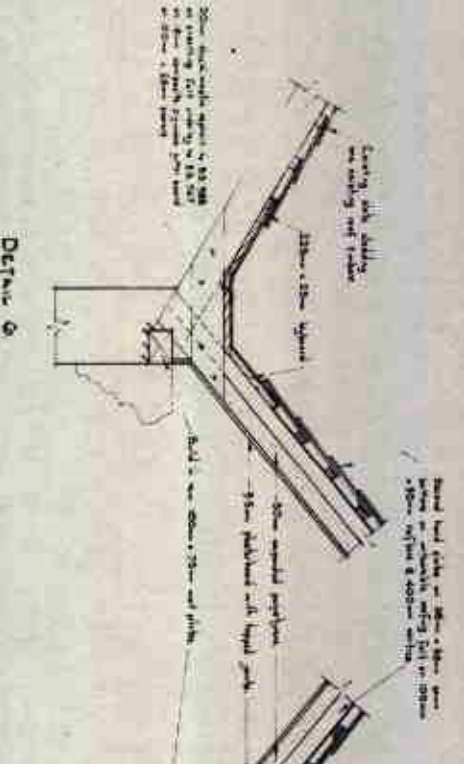
<p> David A Lygon AFS, NDRM  Building Surveyor,  1 Bellhouse Cottages, Freeman Lane,  Hagley, Middle D63 2NL  Telephone 01-561-6058. </p>	<p> D. A. Lygon  Date February 1977  Initials J. J. 100 </p>	<p> 155/11E. </p>
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LN 24141C

# PLAN NOTES

1. CORRECTIONS will be made without charge.  
2. Drawings are to be made to the scale of 1/4" = 1'-0" unless otherwise stated.  
3. For details of the building, see the drawings and specifications.  
4. See also the drawings and specifications for the building and its contents.



Section D-D

Part of Section D-D

NOTE:- No colour references appeared on the filed copy of this plan.

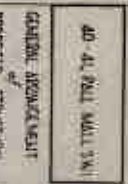
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THE ACT OF 1969  
Date: 21. 2. 1979

PROPOSED EXTENSIONS  
AND ALTERATIONS  
SECTION D-D & DETAILS  
40/41 PAUL MALL,  
LONDON, S.W.1  
David A. Lyons AFS, MASH,  
Building Surveyor,  
1 Bellhouse Cottages, Finsbury Lane,  
London, Middlesex, E8 3NL.  
Telephone: 01-551-6056  
D. A. Lyons  
October 1977  
155/141  
1:50 & 1:10





FIRST FLOOR PLAN



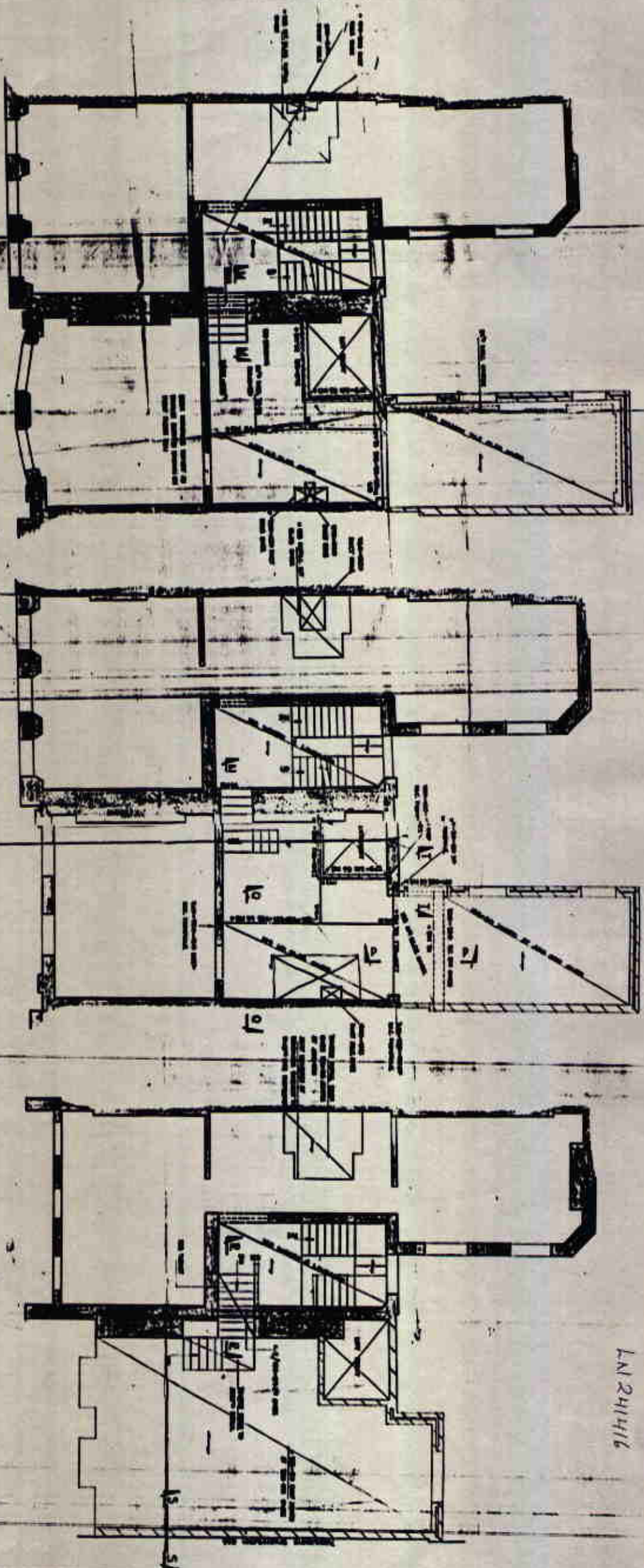
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Title No. *LN2414/6*  
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dated *21.2.1978*







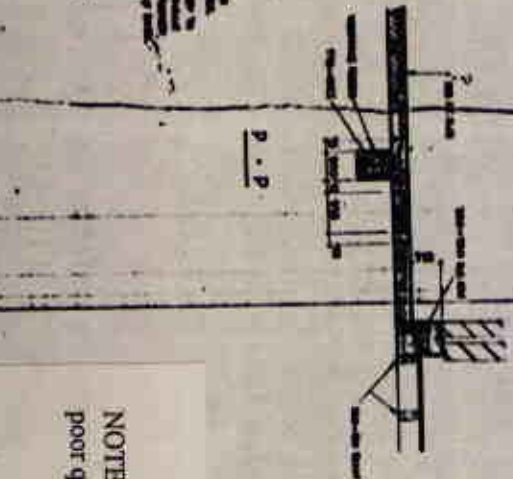
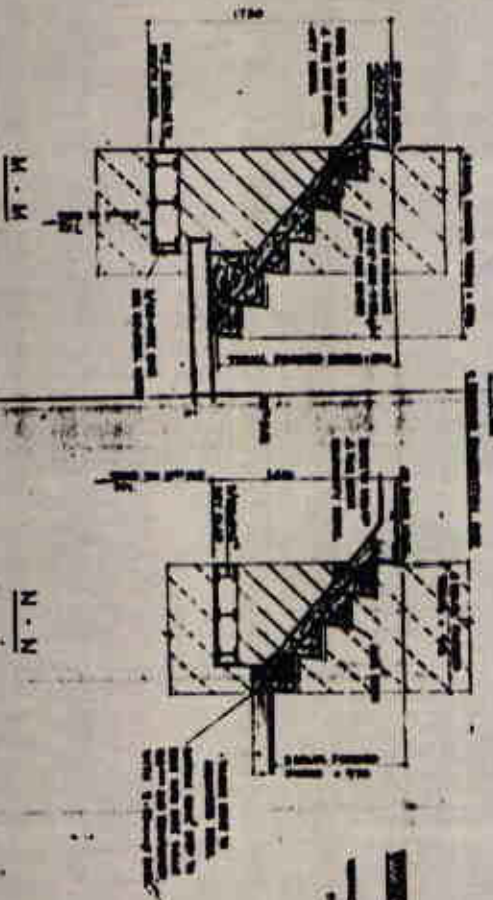
LN 241416



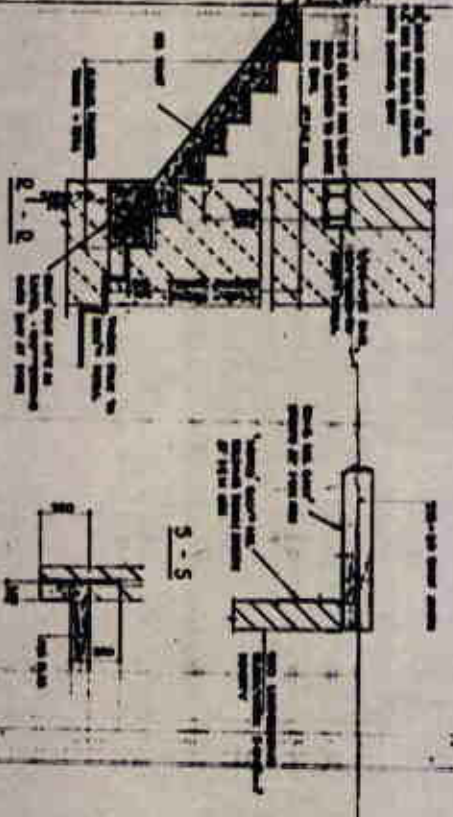
THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FIFTH FLOOR PLAN



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H M LAND REGISTRY

1-1

Title No. LN 241416  
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dated 21.2.1978

NOTE:- No colour references appeared on the filed copy of this plan.

AD - A. B. L. V.	GENERAL AND PROPOSED ST. ATTENTION:	LN 241416 ST. 141416 141416
AD - A. B. L. V.	GENERAL AND PROPOSED ST. ATTENTION:	LN 241416 ST. 141416 141416
AD - A. B. L. V.	GENERAL AND PROPOSED ST. ATTENTION:	LN 241416 ST. 141416 141416